

# WOOLWORTHS COOROY

125 Myall Street, Cooroy



## DEVELOPMENT APPLICATION SET

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DA ISSUE

### WOOLWORTHS COOROY

125 Myall Street, Cooroy

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TA # 21.0005.17

COVER SHEET

A-DA-00-00

2025-05-06

rev. 23

# FINISHES PALETTE

NOTE:  
MATERIALS AND COLOURS SHOWN  
BELOW ARE SUBJECT TO FURTHER  
DESIGN DEVELOPMENT.



## LEGEND

1. CORTEN/ COPPER LOOK CLADDING - FEATURE SIGNAGE
2. PAINT FINISH PRECAST WALL - DULUX COLORBOND PALE TENDRIL
3. PAINT FINISH PRECAST WALL - DULUX TIMELESS GREY
4. PAINT FINISH PRECAST WALL - DULUX DOMINO
5. PAINT FINISH PRECAST WALL - DULUX SANDALWOOD
6. FEATURE WOOD/ WOOD LOOK CLADDING - FEATURE GABLE SOFFIT
7. BATTEN PROFILES - SCULTFORM. 150 x 50mm + 100 x 50mm - 7A: COLOURBOND JASPER - DIRECT TO BOOT SCREEN. 7B: TIMBER LOOK - FACADE TREATMENT
8. FESTOON LIGHTING - ALFRESCO AREA
9. EXPOSED PRECAST CONCRETE WALL
10. ROOFING - KLIP LOK BY LYSAGHT
11. ROOF FINISH - GENERAL - COLORBOND SURFMIST
12. ROOF FINISH - ALFRESCO ROOF - DULUX SHALE GREY
13. BIG ASS FANS - i6 - ALFRESCO AREA
14. LYSAGHT - LONGLINE 305 - MONUMENT - FEATURE WALL CLADDING, FEATURE GABLE ROOFS
15. MIX SUB TROPICAL AND NATIVE PLANTING
16. STRIA + AXON CLADDING - GABLES, FORECOURT
17. CUSTOM ORB SOFFIT LINING - ZINCALUME FINISH - ALFRESCO AREA
18. EXPOSED STEELWORK - TO MATCH COLORBOND MONUMENT
19. SHOPFRONT - TO MATCH COLORBOND MONUMENT
20. BRICK PAVING
21. FLOORING WALKWAYS - EXPOSED CONCRETE

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### MATERIAL SCHEDULE

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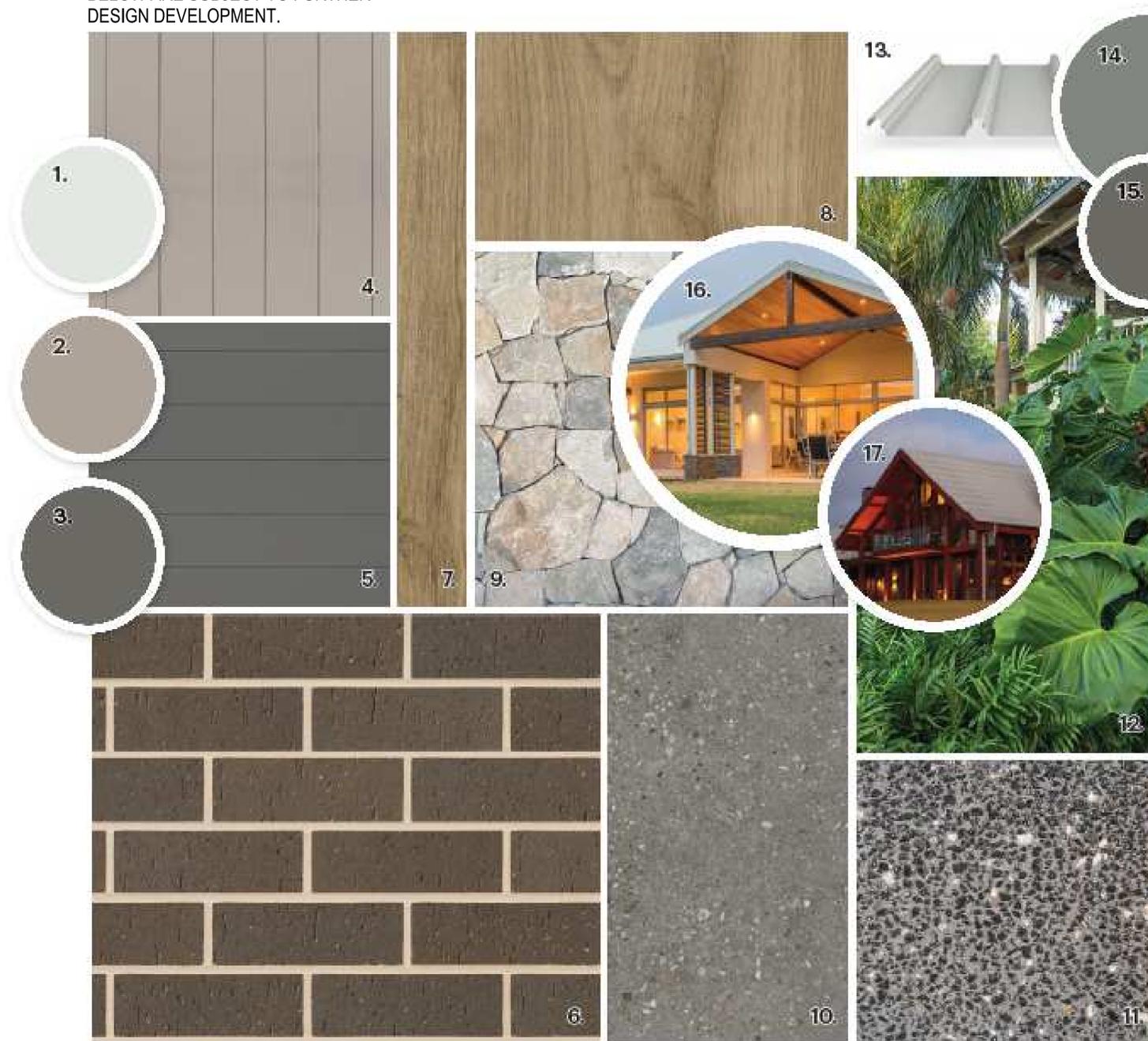
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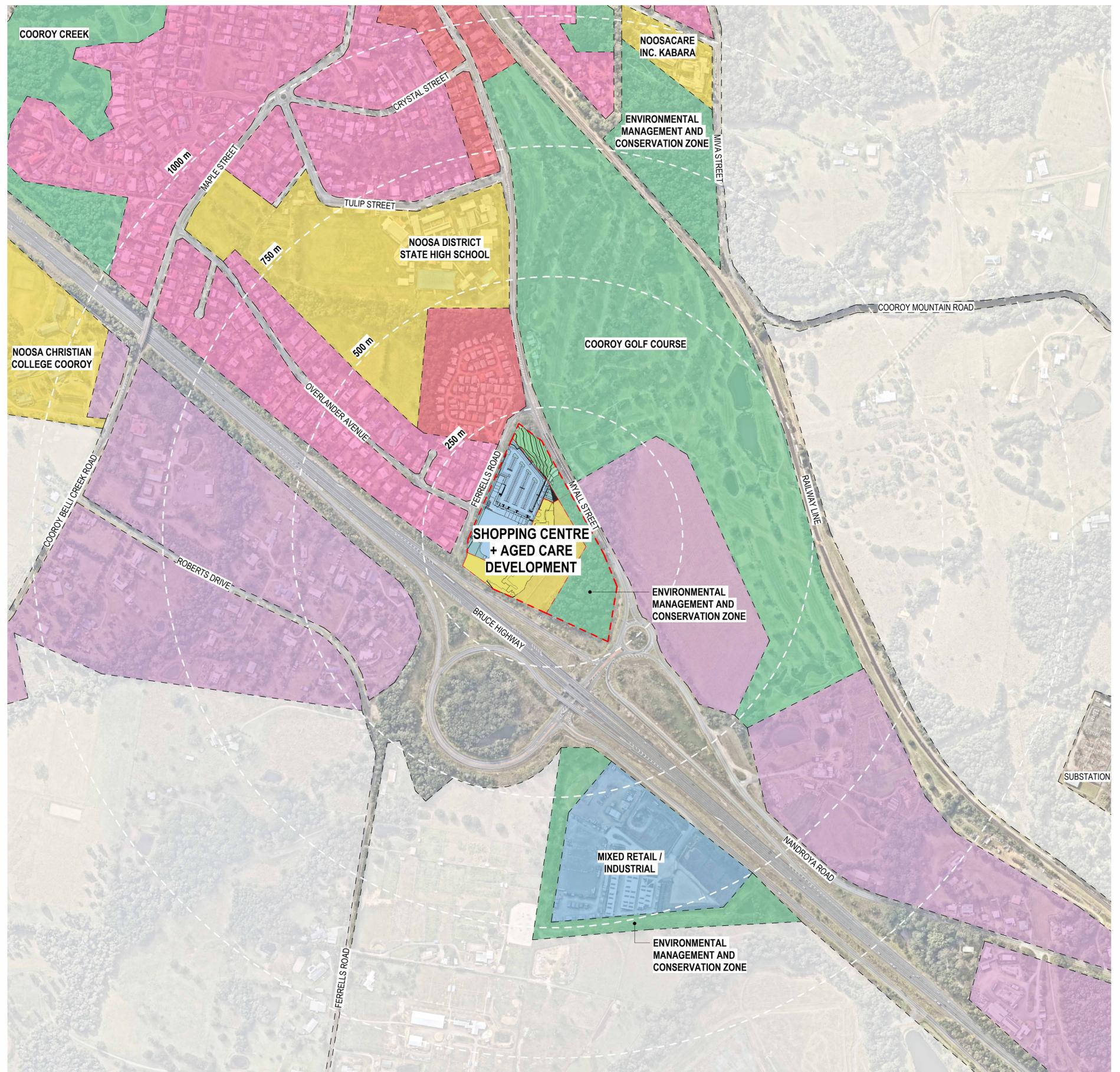
# AGED CARE FINISHES PALETTE

NOTE:  
MATERIALS AND COLOURS SHOWN  
BELOW ARE SUBJECT TO FURTHER  
DESIGN DEVELOPMENT.



## LEGEND

1. PAINT FINISH - DULUX DOVER WHITE
2. PAINT FINISH - DULUX DUNE MATT
3. PAINT FINISH - DULUX WINDSPRAY
4. AXON CLADDING - GENERAL WALL CLADDING
5. STRIA CLADDING - FEATURE WALL CLADDING
6. BRICK WALL FEATURE
7. TIMBER LOOK COLUMN
8. TIMBER LOOK CLADDING - FEATURE SOFFIT
9. FEATURE STONE WALL
10. FLOOR TILE - TERRACE + BALCONY
11. EXPOSED CONCRETE - FLOORING WALKWAYS
12. MIX SUB TROPICAL AND NATIVE PLANTING
13. ROOFING - KLIP LOK BY LYSAGHT
14. ROOF FINISH - GENERAL - COLORBOND WINDSPRAY
15. ROOF FINISH - FEATURE - COLORBOND WALLABY
16. EXAMPLE IMAGE
17. EXAMPLE IMAGE



**LEGEND**

- RETAIL / INDUSTRIAL
- COMMUNITY FACILITIES
- RESIDENTIAL - LOW DENSITY
- RESIDENTIAL - MEDIUM DENSITY
- RESIDENTIAL - RURAL
- RURAL
- GREEN SPACES

1 CONTEXT PLAN  
1:4000

DA ISSUE



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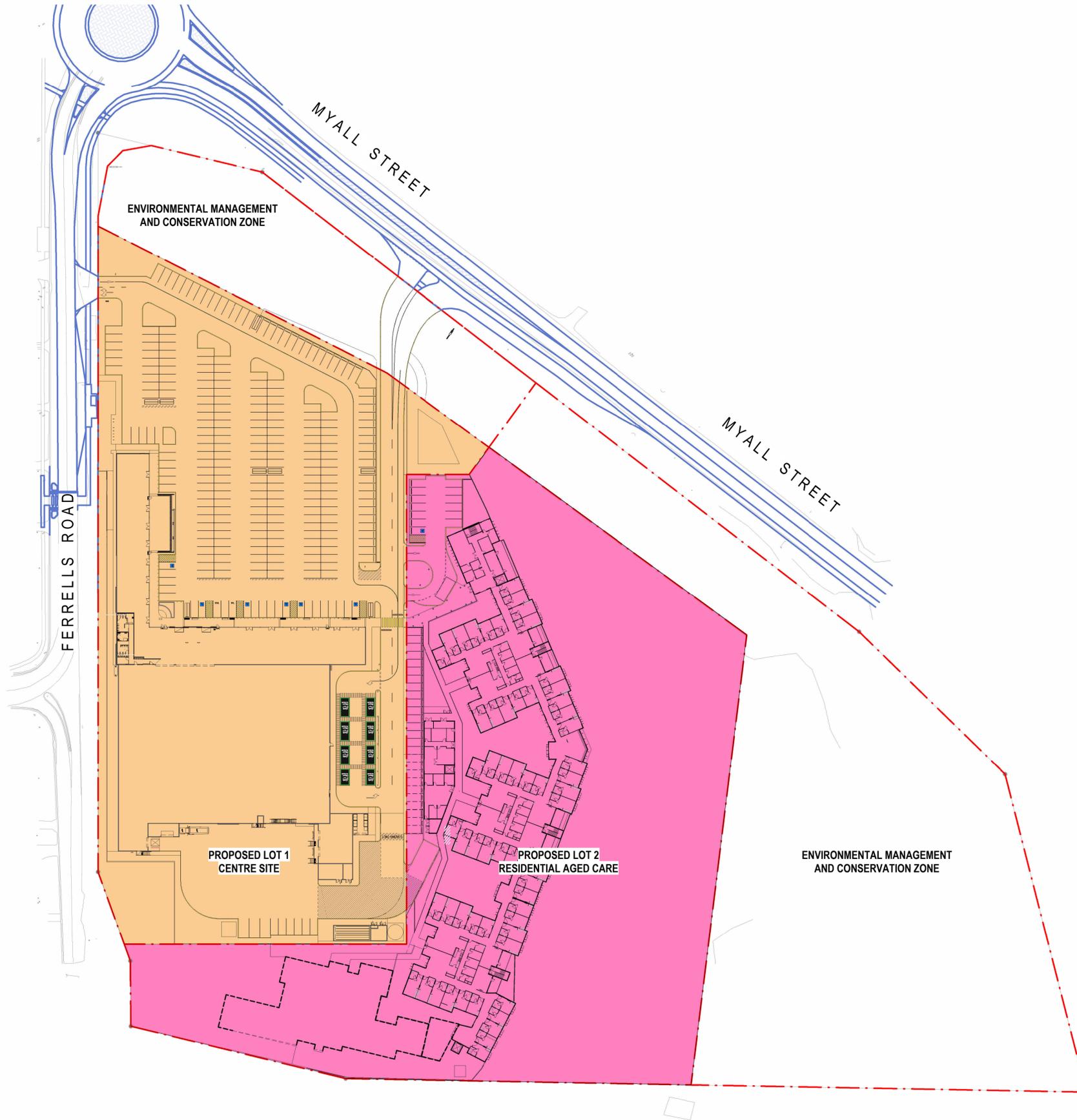
CONTEXT PLAN

As indicated @ A1

A-DA-00-05

2025-05-08

rev. 23



**PROPERTY DETAILS**  
 PROPERTY DESCRIPTION: LOT 4 ON SP248879  
 SITE AREA: 66654m<sup>2</sup>  
 PROPERTY ADDRESS: 125 Myall Street, Cooroy

**LEGEND**  
 PROPOSED LOT 1 - CENTRE SITE  
 PROPOSED LOT 2 - RACF (120 BED FACILITY)

DA ISSUE



**WOOLWORTHS COOROY**  
 125 Myall Street, Cooroy

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**1 KEY PLAN - DA APPLICATION**  
 1 : 750

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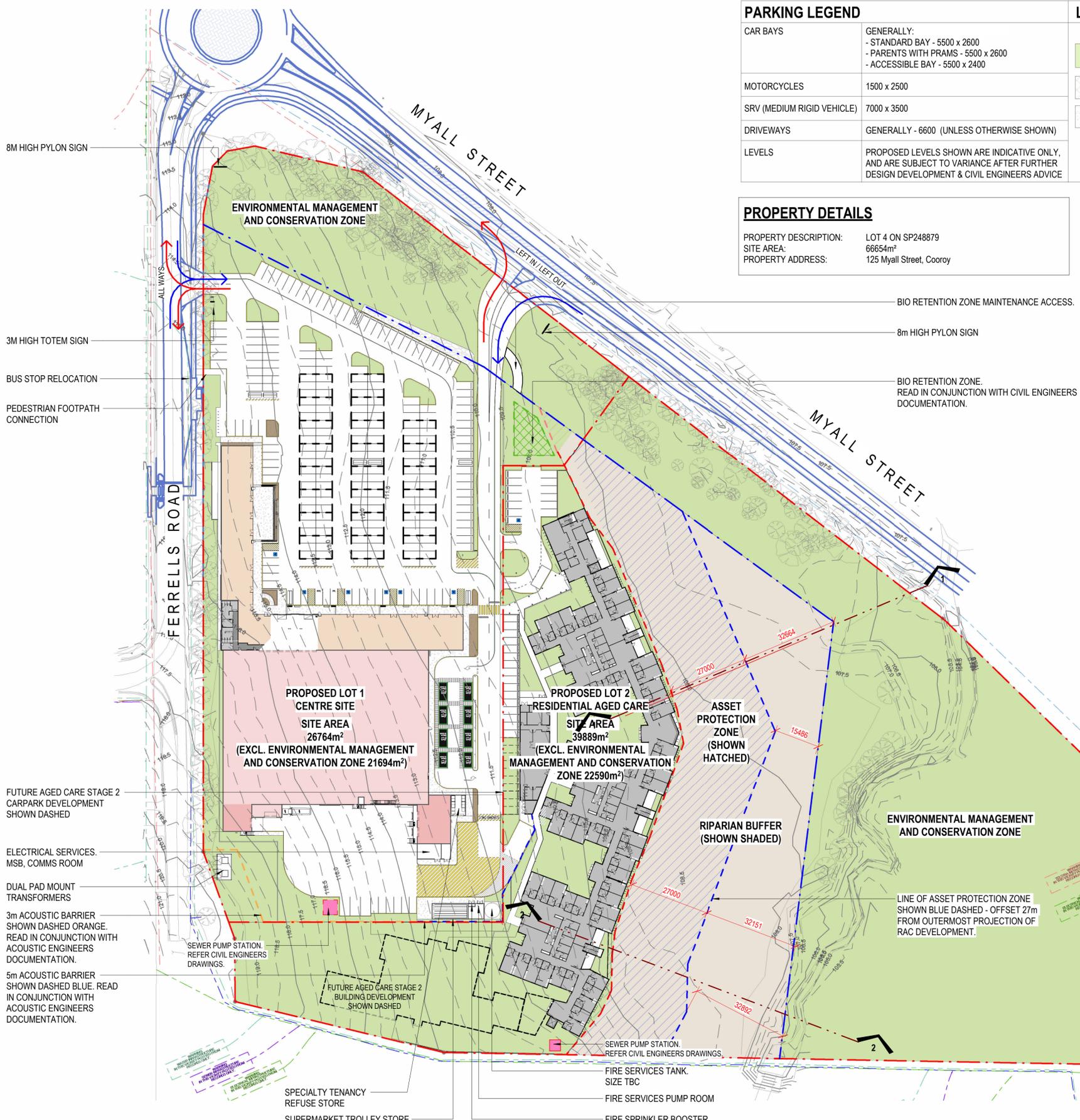
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DA APPLICATION KEY PLAN

2025-05-08

A-DA-00-06

rev. 20



PARKING LEGEND	
CAR BAYS	GENERALLY: - STANDARD BAY - 5500 x 2600 - PARENTS WITH PRAMS - 5500 x 2600 - ACCESSIBLE BAY - 5500 x 2400
MOTORCYCLES	1500 x 2500
SRV (MEDIUM RIGID VEHICLE)	7000 x 3500
DRIVEWAYS	GENERALLY - 6600 (UNLESS OTHERWISE SHOWN)
LEVELS	PROPOSED LEVELS SHOWN ARE INDICATIVE ONLY, AND ARE SUBJECT TO VARIANCE AFTER FURTHER DESIGN DEVELOPMENT & CIVIL ENGINEERS ADVICE

LEGEND			
WS	WHEEL STOP	PARKING: PARENTS WITH PRAMS (MIN 3200 x 5500)	ACoustic FENCE IN ACCORDANCE WITH ACoustic ENGINEER'S REQUIREMENTS
[Green Box]	LANDSCAPING: TO LANDSCAPE ARCHITECTS DRAWINGS.	PEDESTRIAN CROSSING	RETAINING WALL WITH SAFETY FENCE (REFER TO CIVIL & LANDSCAPE DRAWINGS)
[Hatched Box]	COVERED WALKWAY	LEVELS	SHADE STRUCTURES TO CARBAYS
[Dotted Box]	UNCOVERED WALKWAY	EXISTING CONTOURS	RIPARIAN BUFFER
[Wheelchair Icon]	PARKING: ACCESSIBLE (MIN 2400 x 5500 WITH CENTRAL SHARED ZONE 2400 WIDE)	TROLLEY BAY	ASSET PROTECTION ZONE

PROPERTY DETAILS	
PROPERTY DESCRIPTION:	LOT 4 ON SP248879
SITE AREA:	66654m <sup>2</sup>
PROPERTY ADDRESS:	125 Myall Street, Cooroy

**DEFINITIONS**  
**GROSS FLOOR AREA (GFA)**  
 FOR A BUILDING, THE TOTAL FLOOR AREA OF ALL STOREYS OF A BUILDING, MEASURED FROM THE OUTSIDE OF THE EXTERNAL WALLS AND THE CENTRE OF ANY COMMON WALLS OF THE BUILDING, OTHER THAN AREAS USED FOR:  
 A. BUILDING SERVICES, PLANT OR EQUIPMENT; OR  
 B. ACCESS BETWEEN LEVELS; OR  
 C. GROUND FLOOR PUBLIC LOBBY; OR  
 D. A MALL; OR  
 E. PARKING, LOADING AND MANEUVERING OF VEHICLES; OR  
 F. UNENCLOSED PRIVATE BALCONIES WHETHER ROOFED OR NOT

**MASTERPLAN**  
 THE SITE COMPRISES OF THREE PARCELS OF LAND.

**PROPOSED LOT 1: CENTRE SITE**  
 21,694m<sup>2</sup> (EXCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE).  
 26,764m<sup>2</sup> (INCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE).

**PROPOSED LOT 2: RACF SITE**  
 22,590m<sup>2</sup> (EXCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE).  
 39,889m<sup>2</sup> (INCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE).

**ACCOMMODATION SUMMARY**

PROPOSED LOT 1: CENTRE SITE

- FULL LINE SUPERMARKET + SPECIALTY TENANCIES

PROPOSED LOT 2: RACF

- 120 BED AGED CARE FACILITY
- 40 BED FUTURE DEVELOPMENT

PROPOSED LOT 1: CENTRE SITE DEVELOPMENT SCHEDULE - GFA	
SUPERMARKET (INCLUDING SUPERMARKET OFFICE + BOH)	GROUND - 3902m <sup>2</sup> MEZZ - 247m <sup>2</sup>
SHOPS (INCLUDING KIOSK)	1285m <sup>2</sup>
AMENITIES	136m <sup>2</sup>
<b>TOTAL AREA (GFA) (SUPERMARKET + SHOPS)</b>	<b>5434m<sup>2</sup></b>

PARKING SCHEDULE	
BAY DESCRIPTION	QTY
ACCESSIBLE CARPARK BAY	6
DTB CARPARK BAY	8
HOME DELIVERY BAY	3
STAFF CARPARK BAY	6
STANDARD CARPARK BAY	251
<b>TOTAL CARPARK NUMBERS</b>	<b>274</b>

AREA SCHEDULE - SITE COVER		
EXCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE		
TYPE	AREA	%
BUILDING FOOTPRINT	5829 m <sup>2</sup>	27%
OTHER	15866 m <sup>2</sup>	73%
<b>TOTAL</b>	<b>21694 m<sup>2</sup></b>	

AREA SCHEDULE - LANDSCAPING		
EXCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE		
TYPE	AREA	%
HARD LANDSCAPE	12368 m <sup>2</sup>	57%
OTHER	5878 m <sup>2</sup>	27%
SOFT LANDSCAPE	3448 m <sup>2</sup>	16%
<b>TOTAL</b>	<b>21694 m<sup>2</sup></b>	

PROPOSED LOT 2: RACF SITE DEVELOPMENT SCHEDULE - GFA	
AGED CARE FACILITY	GF - 4571m <sup>2</sup> LVL 1 - 4571m <sup>2</sup>
<b>TOTAL AREA (GFA)</b>	<b>9142m<sup>2</sup></b>

PARKING SCHEDULE	
BAY DESCRIPTION	QTY
ACCESSIBLE CARPARK BAY	1
STAFF CARPARK BAY	16
STANDARD CARPARK BAY	12
<b>TOTAL CARPARK NUMBERS</b>	<b>29</b>

AREA SCHEDULE - SITE COVER		
EXCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE		
TYPE	AREA	%
BUILDING FOOTPRINT	4571m <sup>2</sup>	20%
OTHER	18019m <sup>2</sup>	80%
<b>TOTAL</b>	<b>22590m<sup>2</sup></b>	

AREA SCHEDULE - LANDSCAPING		
EXCLUDING ENVIRONMENTAL MANAGEMENT AND CONSERVATION ZONE		
TYPE	AREA	%
HARD LANDSCAPE	529m <sup>2</sup>	2%
OTHER	5315m <sup>2</sup>	24%
SOFT LANDSCAPE	16746m <sup>2</sup>	74%
<b>TOTAL</b>	<b>22590m<sup>2</sup></b>	

AREA SCHEDULE - LANDSCAPING ONLY		
MINIMUM 40% OF THE SITE TO BE LANDSCAPED (60% MAXIMUM OF OTHER)		
TYPE	AREA	%
HARD LANDSCAPE	529m <sup>2</sup>	3%
SOFT LANDSCAPE	16746m <sup>2</sup>	97%
<b>TOTAL</b>	<b>17275m<sup>2</sup></b>	

MINIMUM 60% OF THE LANDSCAPED AREA TO BE SOFT LANDSCAPED. (40% MAXIMUM OF HARD LANDSCAPE)

1 SITE PLAN - MASTERPLAN  
1 : 750

DA ISSUE

**WOOLWORTHS COORoy**  
125 Myall Street, Cooroy

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SITE PLAN - MASTERPLAN

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rev. 35

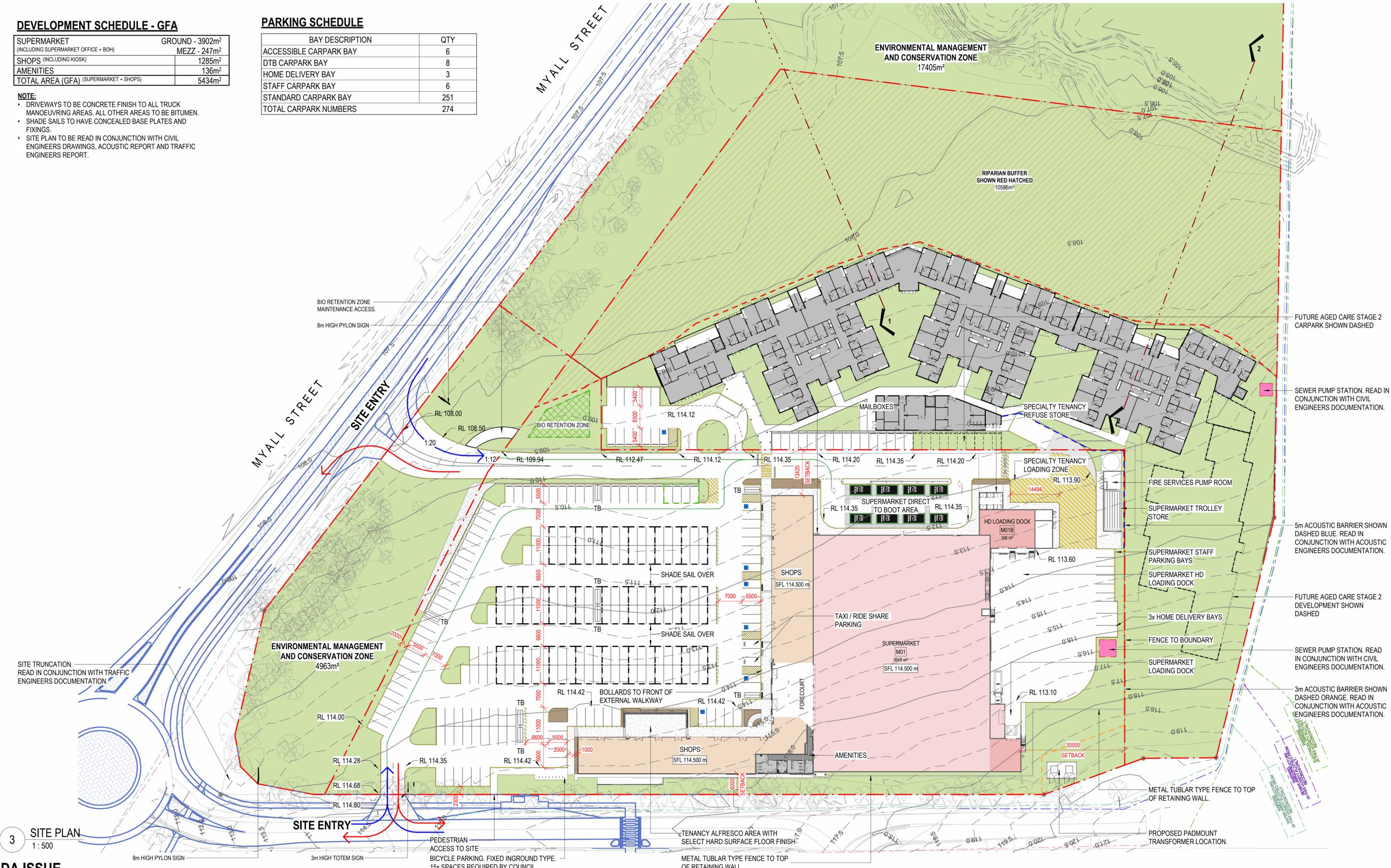
**DEVELOPMENT SCHEDULE - GFA**

SUPERMARKET (INCLUDING SUPERMARKET OFFICE + BOH)	GROUND - 3902m <sup>2</sup> MEZZ - 247m <sup>2</sup>
SHOPS (INCLUDING KIOSK)	1285m <sup>2</sup>
AMENITIES	136m <sup>2</sup>
<b>TOTAL AREA (GFA) (SUPERMARKET + SHOPS)</b>	<b>5434m<sup>2</sup></b>

- NOTE:**
- DRIVEWAYS TO BE CONCRETE FINISH TO ALL TRUCK MANOEUVRING AREAS. ALL OTHER AREAS TO BE BITUMEN.
  - SHADE SAILS TO HAVE CONCEALED BASE PLATES AND FIXINGS.
  - SITE PLAN TO BE READ IN CONJUNCTION WITH CIVIL ENGINEERS DRAWINGS, ACOUSTIC REPORT AND TRAFFIC ENGINEERS REPORT.

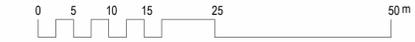
**PARKING SCHEDULE**

BAY DESCRIPTION	QTY
ACCESSIBLE CARPARK BAY	6
DTB CARPARK BAY	8
HOME DELIVERY BAY	3
STAFF CARPARK BAY	6
STANDARD CARPARK BAY	251
<b>TOTAL CARPARK NUMBERS</b>	<b>274</b>



3 SITE PLAN  
1:500

DA ISSUE



**WOOLWORTHS COOROY**

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**SITE PLAN - SUPERMARKET**

As indicated @ A1

2025-06-23

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A-DA-00-12

rev. 38



BIO RETENTION ZONES FOR SUPERMARKET DEVELOPMENT. MIN 2% OF SITE AREA. READ IN CONJUNCTION WITH CIVIL ENGINEERS DOCUMENTATION.

BIO RETENTION ZONE

PARKING (13 SPACES)

DROP OFF AREA

MAIN ENTRY

COVERED WALKWAY

PARKING (16 SPACES)

FUTURE PARKING (10 SPACES)

REFUSE / TRUCK MANOEUVRING AREA

FUTURE PEDESTRIAN FOOTPATH

SEWER PUMP STATION. REFER CIVIL ENGINEERS DRAWINGS.

FUTURE BUILDING

5m ACOUSTIC BARRIER PARTIALLY ON SUPERMARKET SITE SHOWN DASHED BLUE.

3m ACOUSTIC BARRIER ON SUPERMARKET SITE SHOWN DASHED ORANGE.

REFER DA-00-12 SITE -PLAN - SUPERMARKET

PARKING SCHEDULE		
BAY DESCRIPTION		QTY
ACCESSIBLE CARPARK BAY	1	
STAFF CARPARK BAY	16	
STANDARD CARPARK BAY	12	
TOTAL CARPARK NUMBERS	29	

EXCLUDING FUTURE PARKING (10 BAYS)

AREA SCHEDULE - SITE COVER			
TYPE	AREA	%	
BUILDING FOOTPRINT	4594 m <sup>2</sup>	20%	
OTHER	17995 m <sup>2</sup>	80%	
TOTAL	22590 m <sup>2</sup>		

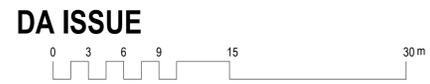
MAXIMUM 50% OF THE SITE COVER TO BE BUILDING FOOTPRINT.

AREA SCHEDULE - LANDSCAPING			
TYPE	AREA	%	
HARD LANDSCAPE	562 m <sup>2</sup>	2%	
OTHER	5448 m <sup>2</sup>	24%	
SOFT LANDSCAPE	16579 m <sup>2</sup>	73%	
TOTAL	22590 m <sup>2</sup>		

MINIMUM 40% OF THE SITE TO BE LANDSCAPED (60% MAXIMUM OF OTHER)

AREA SCHEDULE - LANDSCAPING ONLY			
TYPE	AREA	%	
HARD LANDSCAPE	562 m <sup>2</sup>	3%	
SOFT LANDSCAPE	16579 m <sup>2</sup>	97%	
TOTAL LANDSCAPING	17142 m <sup>2</sup>		

MINIMUM 60% OF THE LANDSCAPED AREA TO BE SOFT LANDSCAPED. (40% MAXIMUM OF HARD LANDSCAPE)



**WOOLWORTHS COOROY - AGED CARE**  
125 MYALL STREET, COOROY

FABCOT

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**SITE PLAN - RACF**

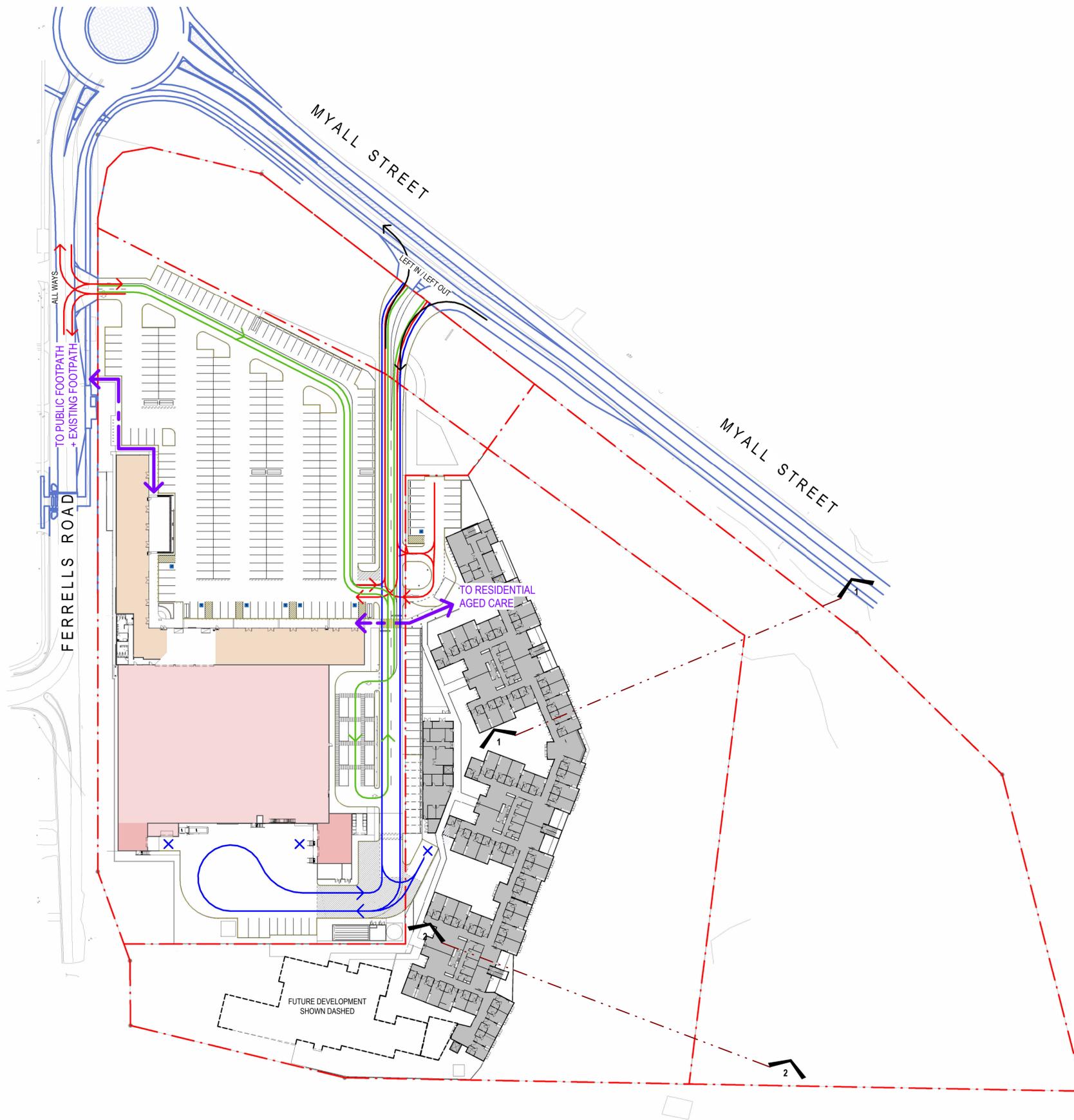
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A-DA-00-13

rev. 19



**LEGEND - VEHICULAR CIRCULATION**

- RESIDENTS / STAFF / CUSTOMERS
- GARBAGE SERVICE / SERVICE VEHICLES
- SUPERMARKET - DIRECT TO BOOT
- X WASTE COLLECTION POINT

**LEGEND - PEDESTRIAN CIRCULATION**

- PEDESTRIAN CIRCULATION PATH

DA ISSUE



**WOOLWORTHS COOROY**

125 Myall Street, Cooroy

WOOLWORTHS GROUP

**1 SITE PLAN - CIRCULATION**  
1 : 750

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**SITE PLAN - CIRCULATION**

TA # 21.0005.17

A-DA-00-20

2025-06-23

rev. 22



**PARKING SCHEDULE**

**PROPOSED LOT 1 - CENTRE SITE**

<span style="color: blue;">■</span>	STAFF PARKING	8 BAYS
<span style="color: yellow;">■</span>	HOME DELIVERY (SHORT STAY)	3 BAYS
<span style="color: green;">■</span>	VISITOR PARKING (INCLUDING 6 ACCESSIBLE BAYS + 8 DTB CARPARK BAYS)	263 BAYS

**SUB-TOTAL CARS: 274 CARS**

**PROPOSED LOT 2 - RACF SITE**

<span style="color: blue;">■</span>	STAFF PARKING	16 BAYS
<span style="color: green;">■</span>	VISITOR PARKING (INCLUDING 1 ACCESSIBLE BAY)	13 BAYS
<span style="color: pink;">■</span>	EMERGENCY VEHICLE (SHORT STAY)	1 BAYS
<span style="color: yellow;">■</span>	SERVICE VEHICLE (SHORT STAY)	1 BAYS

**SUB-TOTAL CARS: 29 CARS**  
(EXCLUDING EMERGENCY + SERVICE VEHICLE)

DA ISSUE



**WOOLWORTHS COOROY**

125 Myall Street, Cooroy

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**1 SITE PLAN - PARKING LAYOUT**  
1 : 750

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**SITE PLAN - PARKING LAYOUT**

2025-06-23

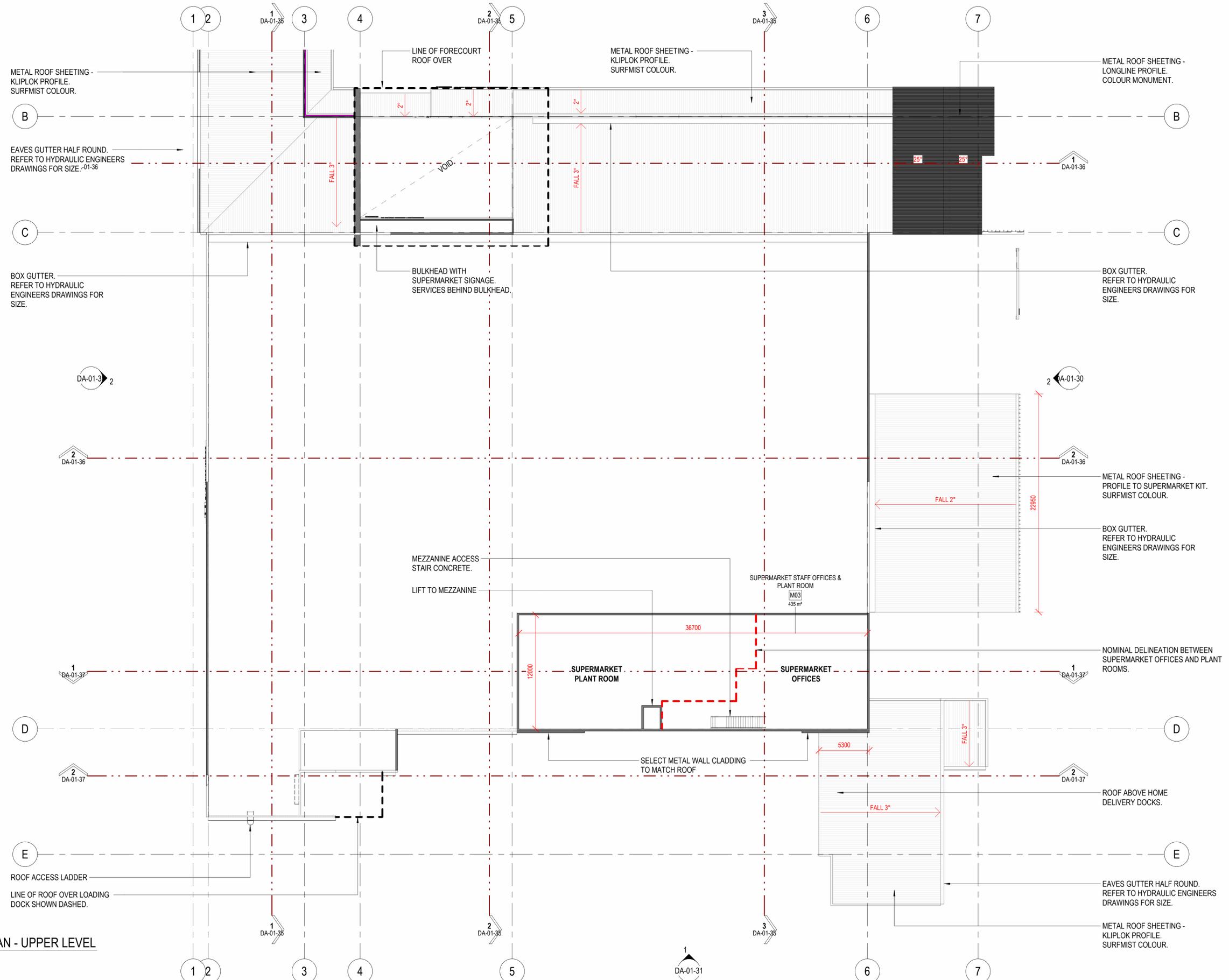
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1 FLOOR PLAN - UPPER LEVEL  
1:200

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FLOOR PLAN - UPPER LEVEL

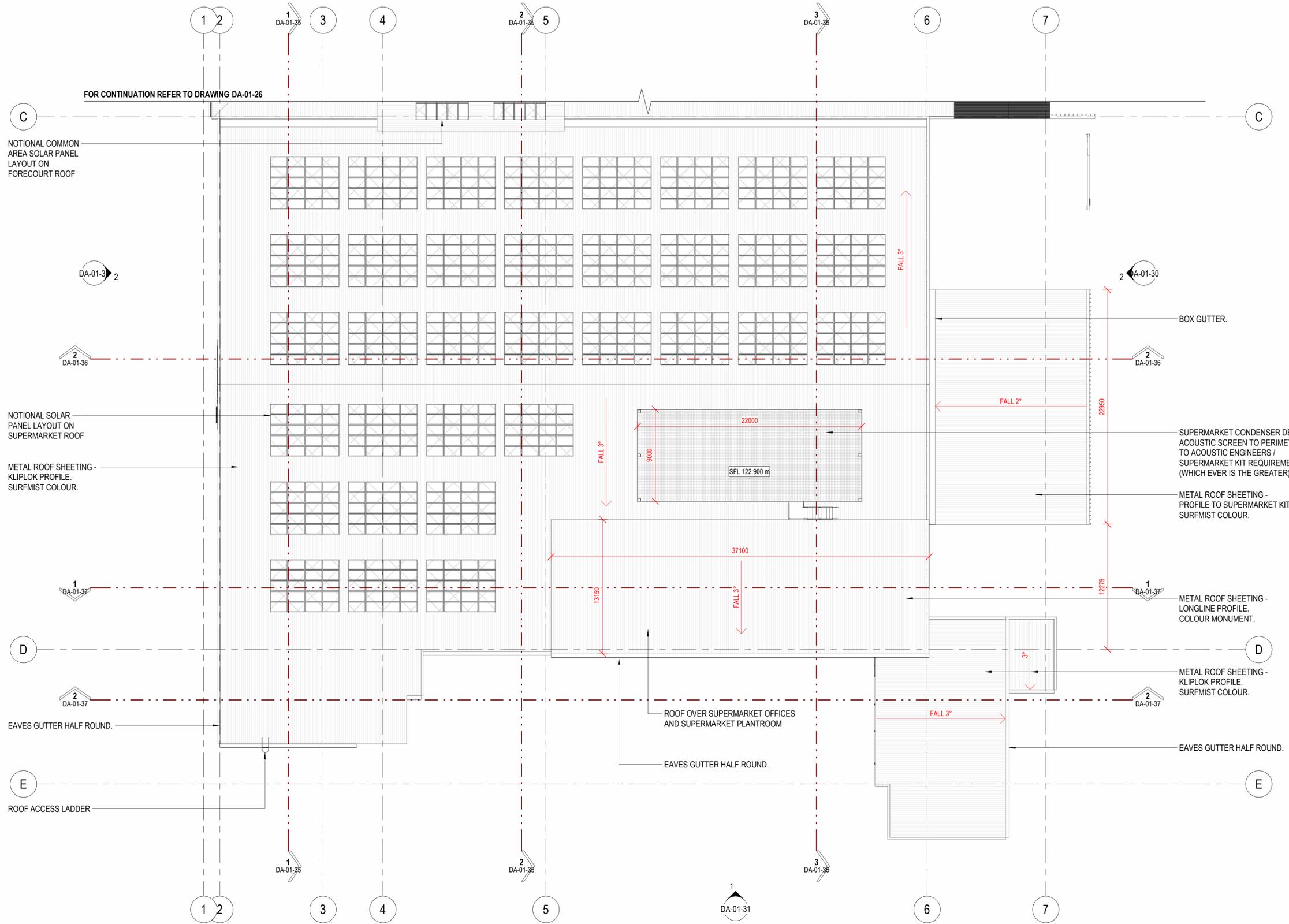
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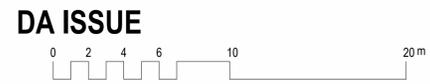
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rev. 21



1 ROOF PLAN - PART 1  
1:200



**WOOLWORTHS COOROY**  
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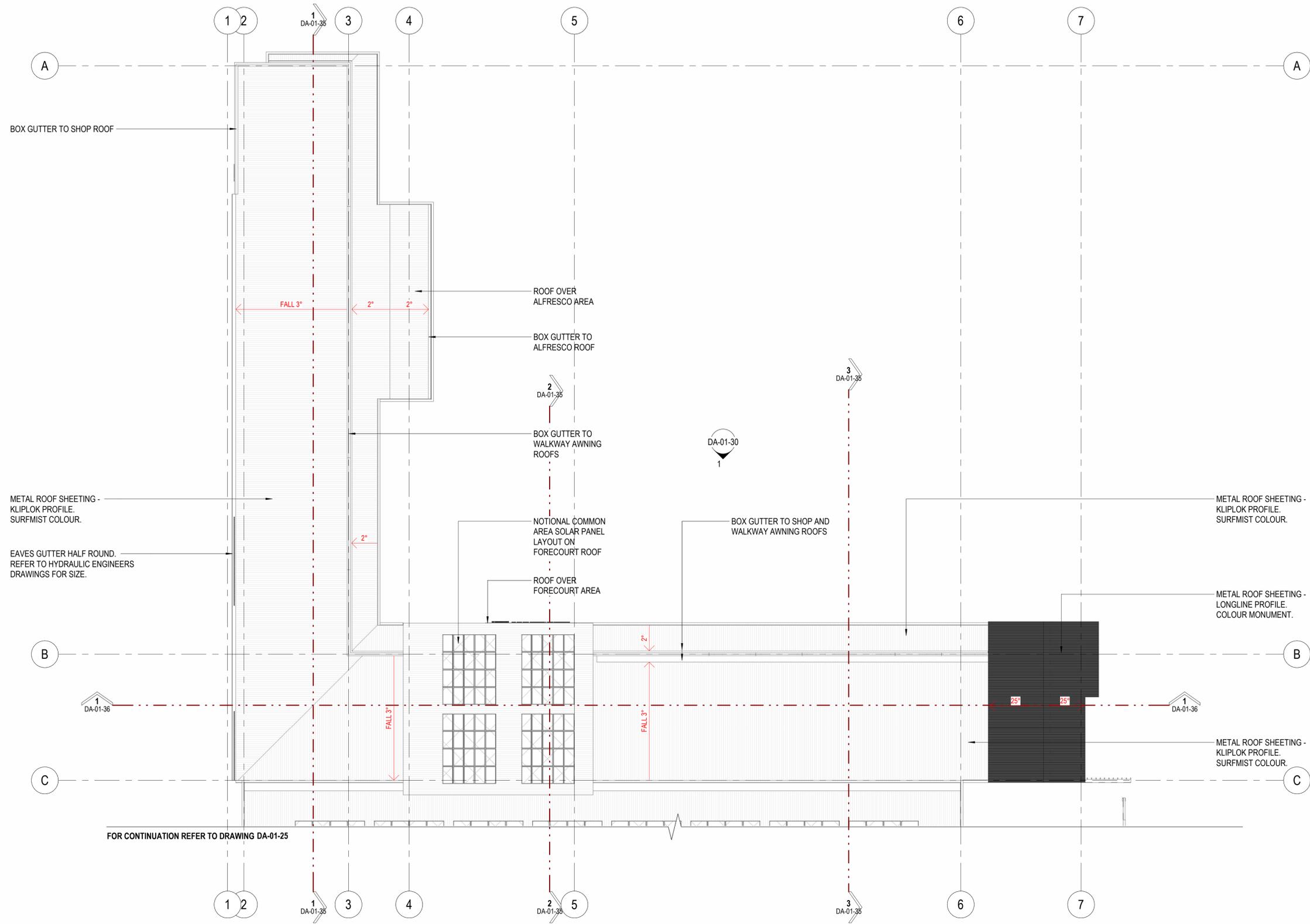
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**ROOF PLAN - PART 1**  
1:200 @ A1  
A-DA-01-25

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1 ROOF PLAN - PART 2  
1 : 200

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**ROOF PLAN - PART 2**

1 : 200 @ A1

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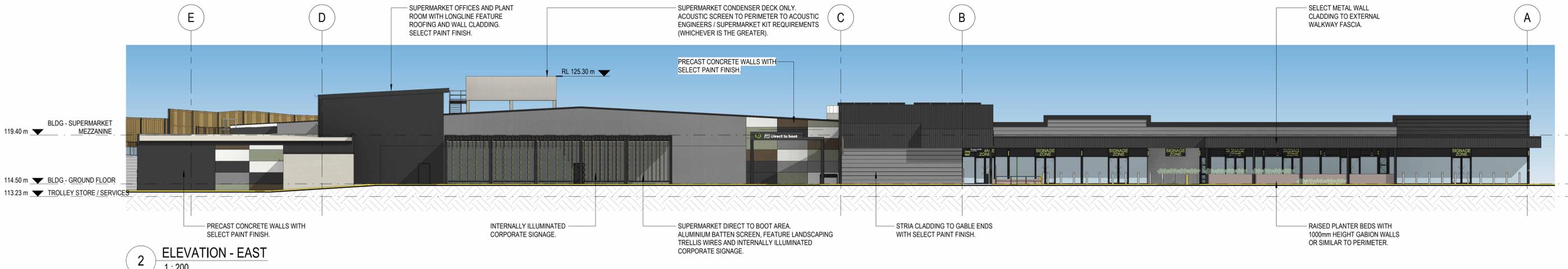
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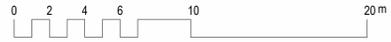


1 ELEVATION - NORTH  
1 : 200



2 ELEVATION - EAST  
1 : 200

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**ELEVATIONS - SHEET 01**

1 : 200 @ A1

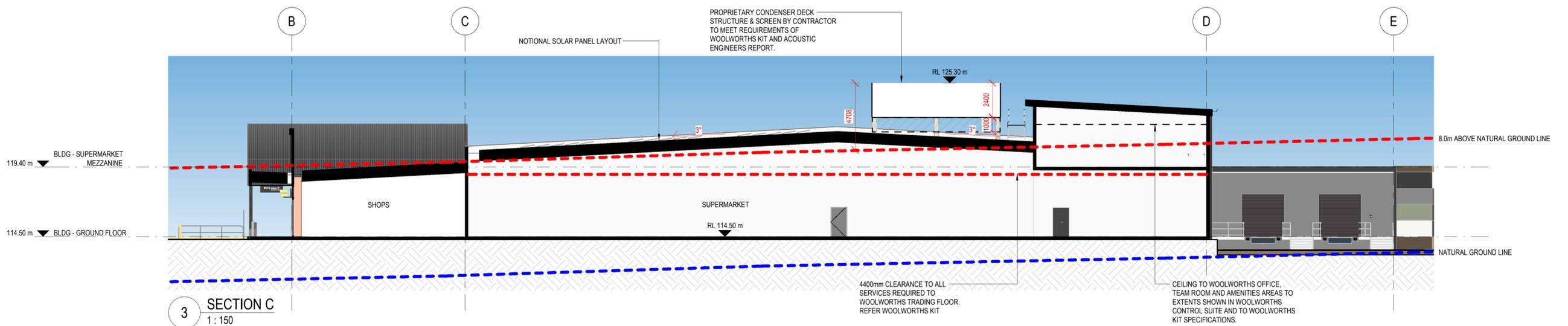
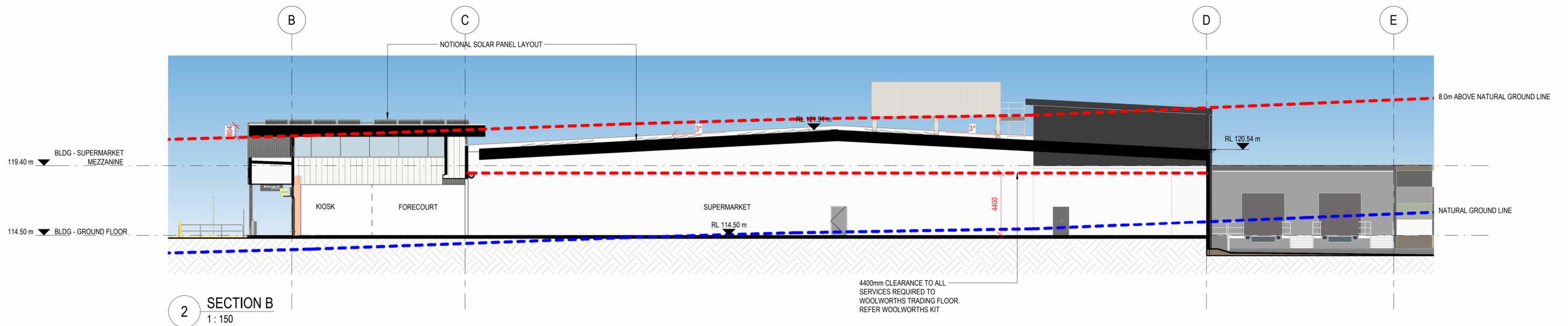
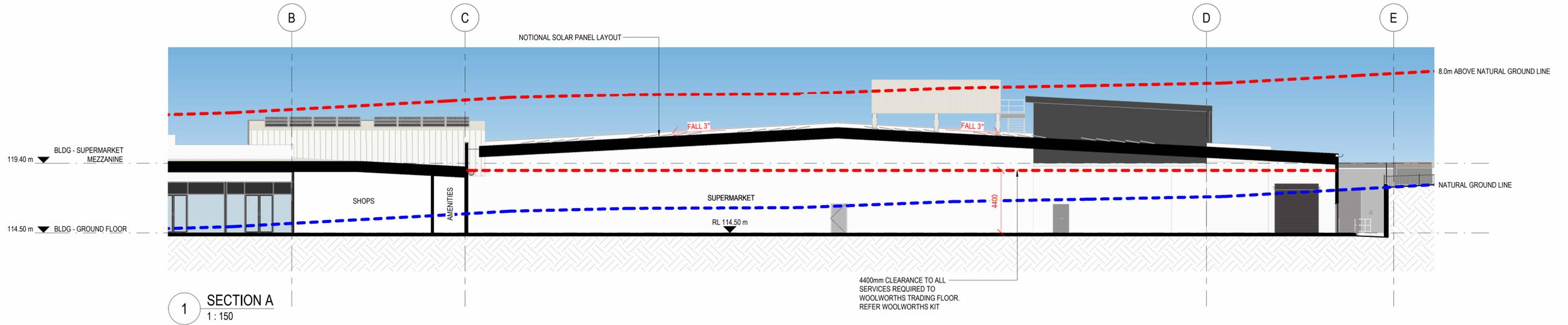
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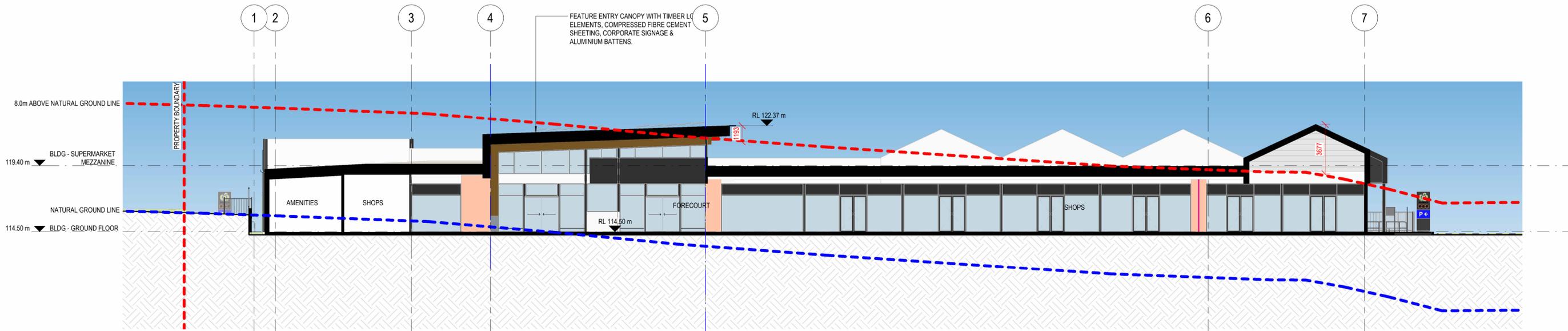
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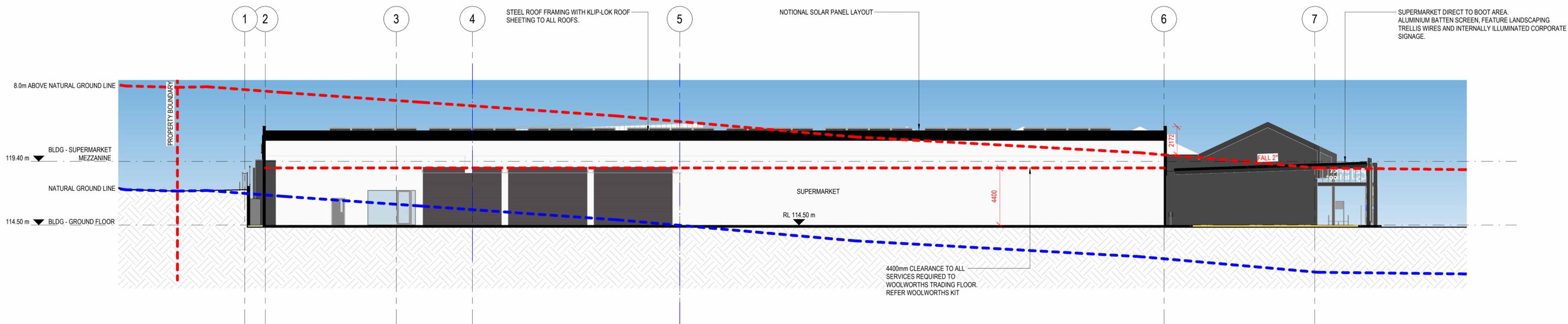
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2025-05-06

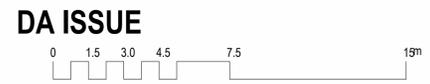
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1 SECTION D  
1 : 150



2 SECTION E  
1 : 150



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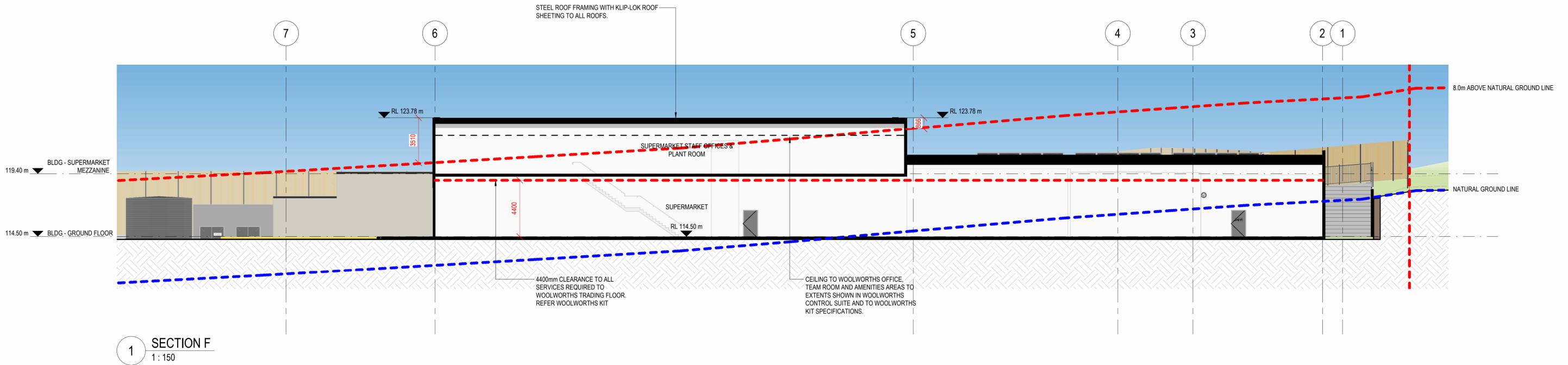
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**SECTIONS - SHEET 02**  
1 : 150 @ A1  
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**SECTIONS - SHEET 03**

1 : 150 @ A1

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